



BITMANSOUR RESIDENCE

NEW RESIDENCE

14300 ARNERICH ROAD
LOS GATOS, CALIFORNIA

WARREN DESIGN
679 E. CAMPBELL AVE. CAMPBELL, CA 95008 P. 650.469.3780

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CALGREEN MANDATORY MEASURES	FIRE DEPARTMENT NOTES	GENERAL NOTES	SHEET INDEX
<p>A4.1 PLANNING & DESIGN-SITE DEVELOPMENT</p> <p>4.106.2: A PLAN IS DEVELOPED & IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION,</p> <p>4.106.3: THE SITE SHALL BE PLANNED & DEVELOPED TO KEEP SURFACE WATER AWAY FROM BUILDINGS. CONSTRUCTION PLANS SHALL INDICATE HOW SITE GRADING OR A DRAINAGE SYSTEMS WILL MANAGE ALL SURFACE WATER FLOWS.</p> <p>A4.2 ENERGY EFFICIENCY</p> <p>4.201.1 LOW-RISE RESIDENTIAL BUILDINGS SHALL MEET OR EXCEED THE MINIMUM STANDARD DESIGN REQUIRED BY THE CALIFORNIA ENERGY STANDARDS.</p> <p>A4.3 WATER EFFICIENCY & CONSERVATION</p> <p>4.303.1: INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20% USING ONE OF THE FOLLOWING METHODS:</p> <p>1. WATER SAVING FIXTURES OR FLOW RESTRICTORS SHALL BE USED.</p> <p>2. A 20% REDUCTION IN BASELINE WATER USE SHALL BE DEMONSTRATED.</p> <p>4.303.2: WHEN USING THE CALCULATION METHODS SPECIFIED IN SECTION 4.303.1 MULTIPLE SHOWERHEADS SHALL NOT EXCEED MAXIMUM FLOW RATES</p> <p>4.303.3 PLUMBING FIXTURES (WATER CLOSETS & URINALS) & FITTINGS (FAUCETS & SHOWERHEADS) SHALL COMPLY WITH SPECIFIED PERFORMANCE REQUIREMENTS.</p> <p>OUTDOOR WATER USE:</p> <p>4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. AFTER DECEMBER 1, 2015, NEW RESIDENTIAL DEVELOPMENTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREAT THAN 500 SQUARE FEET SHALL COMPLY WITH ONE OF THE FOLLOWING OPTIONS:</p> <p>1. A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT; OR</p> <p>2. PROJECTS WITH AGGREGATE LANDSCAPE AREAS LESS THAN 2,500 SQUARE FEET MAY COMPLY WITH THE MWELO'S APPENDIX D PRESCRIPTIVE COMPLIANCE OPTION.</p> <p>A4.4 MATERIAL CONSERVATION & RESOURCE EFFICIENCY</p> <p>4.406.1: JOINTS & OPENINGS.</p> <p>ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.</p> <p>4.408.1: A MINIMUM OF 75% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE. THIS IS ACHIEVED EITHER BY USING CITY PER-CERTIFIED LANDFILLS OR IMPLEMENTATION OF A WASTE MANAGEMENT PLAN. WASTE MANAGEMENT PLAN SHALL BE PRE-APPROVED BY ENVIRONMENTAL SERVICES DEPT.</p> <p>4.408.2 WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION & DEMOLITION WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED FOR APPROVAL TO THE ENFORCING AGENCY.</p> <p>4.410.1 AN OPERATION & MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.</p> <p>A4.5 ENVIRONMENTAL QUALITY</p> <p>POLLUTANT CONTROL :</p> <p>4504.1 DUCT OPENINGS & OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.</p> <p>4.504.2.1 ADHESIVES, SEALANTS & CAULKS SHALL BE COMPLIANT WITH VOC & OTHER TOXIC COMPOUND LIMITS.</p> <p>4.504.2.2: PAINTS, STAINS & OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.</p> <p>4.504.2.3: ALL PAINTS & COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC & OTHER TOXIC COMPOUNDS.</p> <p>4.504.2.4: DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.</p> <p>4.504.3: CARPET & CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.</p> <p>4.504.4: 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING, SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSORE PROGRAMS.</p> <p>4.504.5: PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSIONS STANDARDS. SPECIFY THE LIMITS ON THE PLANS IN ACCORDANCE WITH.</p> <p>4.505.2: VAPOR RETARDER & CAPILLARY BREAK IS INSTALLED AT SLAB ON GRADE FOUNDATIONS.</p> <p>4.505.3: MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL & FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.</p> <p>INDOOR AIR QUALITY & EXHAUST</p> <p>4.506.1 ENERGY STAR COMPLIANT EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE PROVIDED IN EVERY BATHROOM. CONTROLLED BY A HUMIDITY CONTROL, UNLESS IT IS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM.</p> <p>ENVIRONMENTAL COMFORT</p> <p>4.507.1: WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR LOUVERS SHALL HAVE A MIN. INSULATION VALUE OF R-4.2.</p> <p>4.507.2: DUCT SYSTEMS ARE SIZED, DESIGNED & EQUIPMENTS IS SELECTED USING THE FOLLOWING METHODS:</p> <p>1. ESTABLISH HEAT LOSS & HEAT GAIN VALUES ACCORDING TO ACCA MANUAL J OR EQUIVALENT.</p> <p>2. SIZE DUCT SYSTEMS ACCORDING TO ACCA 19-D (MANUAL D) OR EQUIVALENT.</p> <p>3. SELECT HEATING & COOLING EQUIPMENT ACCORDING TO ACCA 36-S (MANUAL S) OR EQUIVALENT.</p> <p>INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS</p> <p>702.11: HVAC SYSTEM INSTALLERS ARE TRAINED & CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.</p> <p>702.2: SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED & ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.</p> <p>703.1: VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE</p> <p>CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.</p>	<p>1. THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN A POSITION THAT IS READILY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 0.5".</p> <p>2. POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD.</p> <p>3. ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7.</p> <p>4. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. SMOKE ALARMS SHALL BE INTERCONNECTED, RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP.</p> <p>5. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING OR SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN SWELLING UNITS THAT HAVE AN ATTACHED GARAGE. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.</p>	<p>1. CONTRACTOR SHALL COMPLY WITH ALL CALIFORNIA RESIDENTIAL CODE (CRC) 2019, CALIFORNIA BUILDING CODE (CBC) 2019, CALIFORNIA MECHANICAL CODE (CMC) 2019, CALIFORNIA PLUMBING CODE (CPC) 2019, CALIFORNIA FIRE CODE (CFC) 2019, CALIFORNIA ELECTRICAL CODE (CEC) 2019, CALIFORNIA GREEN BUILDING CODE (CGBC) 2019, ENERGY EFFICIENCY STANDARDS TITLE 24.</p> <p>2. INSULATION AT ALL EXTERIOR WALLS, WALLS BETWEEN HOUSE AND GARAGE, WOOD FLOOR, FLOOR ABOVE GARAGE, AND CEILINGS SHALL BE (PER T-24 CALC'S): WALLS: R-15 INSULATION (SPRAY FOAM) CRAWL SPACE: R-19 INSULATION (SPRAY FOAM), ROOF ATTIC SPACE: R-45 INSULATION (BATT)</p> <p>3. VENTILATION REQUIRED.</p> <p>4. SITE DRAINAGE: NO DRAINAGE ACROSS OR ONTO ADJACENT PROPERTIES OR ON SITE WATER RETENTION. PROVIDE A MINIMUM 5% SLOPE ON PERVIOUS SURFACES AND 2% SLOPE ON IMPERVIOUS SURFACES WITHIN 10' OF STRUCTURE.</p> <p>5. FOUNDATION: SOIL UNDER SLAB AND FOOTINGS TO BE 95% COMPACTED. ALL BEARING FOOTINGS SHALL EXTEND A MINIMUM OF 12" INTO UNDISTURBED SOIL. UNLESS OTHERWISE NOTED. FOUNDATIONS AND HOUSE SLAB SHALL BE 2500 PSI AT 28 DAYS. FLAT WORK SHALL BE 2500 PSI AT 28 DAYS. FINISH FLOOR SLAB SHALL BE A MINIMUM OF 6" ABOVE GRADE. PROVIDE COPIES OF ANY COMPACTION OR SOILS ANALYSIS REPORTS TO THE BUILDING DEPARTMENT PRIOR TO THE FOUNDATION INSPECTION.</p> <p>6. SILL PLATES WILL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.</p> <p>7. ALL EXTERIOR AND INTERIOR BEARING WALLS SHALL BE 2x4 D.F. WOOD STUDS AT 16" O.C. UNLESS OTHERWISE NOTED ON PLANS.</p> <p>8. PROVIDE SOLID BLOCKING AT ALL FURRED CEILINGS AND SOFFITS AT WALLS.</p> <p>9. AT ALL NON-BEARING WALLS PARALLEL TO ROOF TRUSS THAT ARE UNBRACED FOR MORE THAN 6'-0" PROVIDE A 2x4 DIAGONAL BRACE FROM THE TOP PLATE TO THE TOP CHORD WITH A MINIMUM OF 2-16d EACH END.</p> <p>10. BOTTOM CHORD OF TRUSS TO BE BRACED AT 12' O.C. (MINIMUM).</p> <p>11. ALL EXTERIOR DOOR AND WINDOW HEADERS SHALL BE 6x12 WITH DOUBLE TOP PLATE OVER, UNLESS OTHERWISE NOTED.</p> <p>12. POWER DRIVEN FASTENERS: ESR 2269 X-U P8 S36 AS MANUFACTURED BY "HILTI". SPACING: 18" O.C. AT ALL BEARING WALLS. 36" O.C. AT ALL NON-BEARING WALLS.</p> <p>13. EXTERIOR FINISH TO BE STUCCO- SEE EXTERIOR ELEVATIONS.</p> <p>14. STUCCO FINISHES AT EDGES SHALL INCLUDE THE FOLLOWING: DRIP SCREED, SUPERIOR #1 CASING BEAD, MILCOR #66 EXTERIOR CORNER, MILCOR #1 EXP. JOINT, INTERIOR CORNER, MILCOR #30 EXP. JOINT.</p> <p>15. ALL WINDOWS SHALL BE DUAL GLAZED WITH VINYL FRAME. SEE ELEVATIONS FOR GRIDS.</p> <p>16. ALL EXTERIOR SLIDING GLASS DOORS AND WINDOWS WITH SILLS WITHIN 18" OF THE FLOOR AND WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF AN EXTERIOR DOOR IN A CLOSED POSITION SHALL BE TEMPERED, H.S.=HORIZONTAL SLIDER, S.H.=SINGLE HUNG, OBS.=OBSCURE, FXD.=FIXED, TEMP.=TEMPERED, HLF.=HALF ROUND.</p> <p>17. SILL PLATES FOR NON-BEARING WALLS MUST BE ANCHORED TO SLAB WITH HARDENED CEMENT NAILS.</p> <p>18. EXTERIOR SILL PLATES SHALL BE CAULKED AT JOINTS WITH CONCRETE SLAB. CAULK ALL OPENINGS IN EXTERIOR ENVELOPE. ALL JOINTS BETWEEN DISSIMILAR MATERIALS, AND AT JUNCTIONS OF MAJOR COMPONENTS.</p> <p>19. PROVIDE ONE COAT HEAVY-BODIED ACRYLIC STAIN ON BARGE RAFTERS, FASCIA BOARDS, EXPOSED EAVES, AND WOOD TRIM.</p> <p>20. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD. ANY CONFLICTS OR DISCREPANCIES ARE TO BE BROUGHT TO THE DESIGNER'S ATTENTION PRIOR TO CONSTRUCTION.</p> <p>21. BACKFLOW PREVENTER REQUIRED ON ALL HOSE BIBBS.</p> <p>22. FLOOD ZONE DESIGNATION AE AND BASE FLOOD ELEVATION (BFE) OF 26.4' NAVD'88.</p> <p>23. ALL MATERIALS BELOW BFE SHALL BE RESISTANT TO FLOOD DAMAGE</p>	<p>T-1 PROJECT DATA/ GENERAL NOTES/SHEET INDEX</p> <p>T-1.1 FLOOR AREA CALCULATION</p> <p>C-1 COVER SHEET</p> <p>C-2 GRADING AND DRAINAGE PLAN</p> <p>C-3 SECTION AND DETAILS</p> <p>C-4 DRIVEWAY PROFILE</p> <p>C-5 DRIVEWAY PROFILE</p> <p>C-6 EROSION CONTROL PLAN</p> <p>C-7 EROSION CONTROL NOTES AND DETAILS</p> <p>A-1 SITE PLAN</p> <p>A-2 FLOOR PLAN</p> <p>A-3 EXTERIOR ELEVATIONS</p> <p>A-4 EXTERIOR ELEVATIONS</p> <p>A-5 ROOF PLAN</p> <p>A-6 SECTIONS</p> <p>A-7 SECTIONS</p>
	<p>SPECIAL INSPECTIONS</p> <p>ALL WORK REQUIRING INSPECTIONS MUST BE DONE BY CERTIFIED INSPECTION AGENCY.</p> <p>• RETROFIT HOLDOWN ANCHORS MAY BE INSPECTED BY THE ENGINEER OF RECORD. THE EOR SHALL PROVIDE A LETTER TO THE CITY FIELD INSPECTOR AT THE TIME OF HOLDOWN INSPECTION DESCRIBING THE RESULTS OF THE INSPECTION(S).</p>		<p>PROJECT DATA</p> <p>PROJECT ADDRESS: 14300 ARNERICH ROAD</p> <p>ASSESSOR PARCEL NUMBER: 537-11-017</p> <p>ZONING: HR-1</p> <p>CONSTRUCTION TYPE: V-B</p> <p>OCCUPANCY TYPE: R-3/U SPRINKLERED</p> <p>LOT SIZE: 236,210 S.F. (5.42 ACRES)</p> <p>EXISTING RESIDENCE TO BE DEMO'D: 3,733 S.F.</p> <p>PROPOSED FLOOR AREA: 5,284.3 S.F.</p> <p>3 CAR GARAGE: 461.25 S.F. (TOTAL= 861.25 S.F. INCLUDING 400 S.F. ALLOWANCE</p> <p>TOTAL FLOOR AREA: 5,745.58 S.F.</p> <p>ALLOWABLE FLOOR AREA: 6,000 S.F. (+400 S.F. GARAGE ALLOWANCE)</p> <p>COVERED PORCH: 341 S.F.</p> <p>COVERED TERRACE: 1,590.2 S.F.</p> <p>OPEN COURTYARD: 414.5 S.F.</p> <p>LOT COVERAGE: 7,676.75 S.F. (3.2%)</p> <p>SCOPE OF WORK: DEMO EXISTING RESIDENCE AND CONSTRUCT A SINGLE STORY RESIDENCE TO INCLUDE 5 BEDROOMS, 6.5 BATH. PROVIDE NEW STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL AS NECESSARY AND SHOWN ON PLANS.</p>
	<p>VICINITY MAP</p>	<p>DEFERRED SUBMITTALS</p> <p>DEFERRED APPROVALS ARE SUBJECT TO CITY'S APPROVAL</p> <p>• FIRE SPRINKLER SYSTEM TO BE SUBMITTED AND APPROVED UNDER A SEPARATE PERMIT.</p>	

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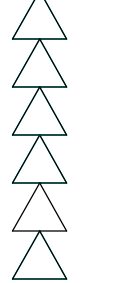
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CALIFORNIA

Date: 6/1/2017

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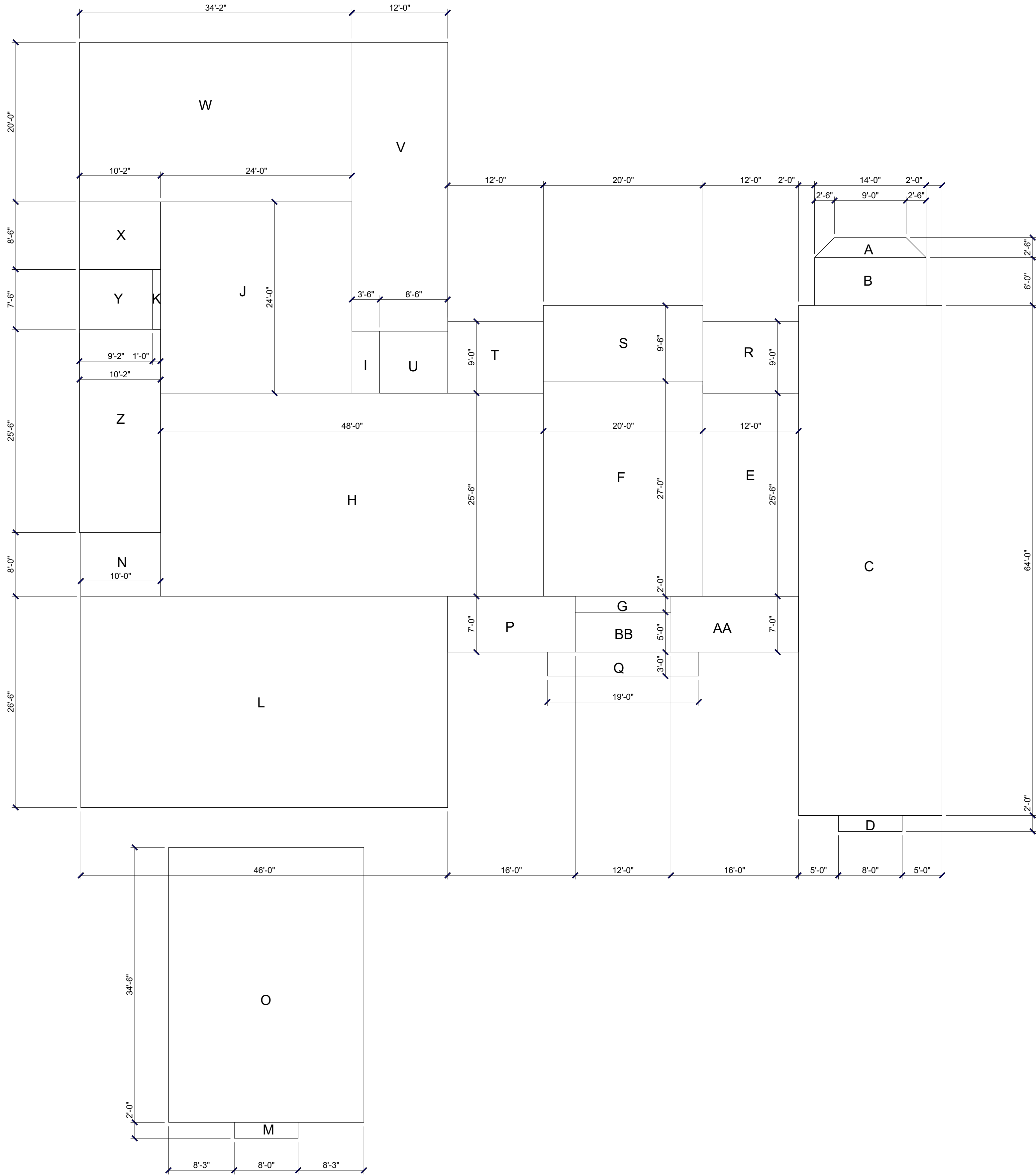
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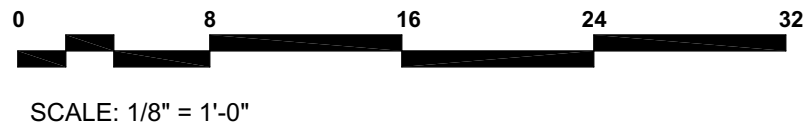
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PROJECT DATA
VICINITY MAP
GENERAL NOTES

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Sheet No: T-1



Floor Area Diagram



FLOOR AREA CALCULATION:		
AREA		S.F.
A		28.8
B		84.0
C		1152
D		16.0
E		306
F		240
G		24
H		1224
I		27
J		576
K		7.5
L		1219
M		16 (NON-FAR)
N		80.0
O		845.25 (NON-FAR)
P		112 (NON-FAR)
Q		57 (NON-FAR)
R		108 (NON-FAR)
S		190 (NON-FAR)
T		108 (NON-FAR)
U		65.9 (NON-FAR)
V		435 (NON-FAR)
W		583.3 (NON-FAR)
X		86.4 (NON-FAR)
Y		68.8 (NON-FAR)
Z		259.3 (NON-FAR)
AA		112 (NON-FAR)
BB		60 (NON-FAR)
FLOOR AREA TOTAL:		5,284.30 S.F.

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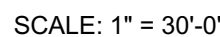


FLOOR AREA
DIAGRAM

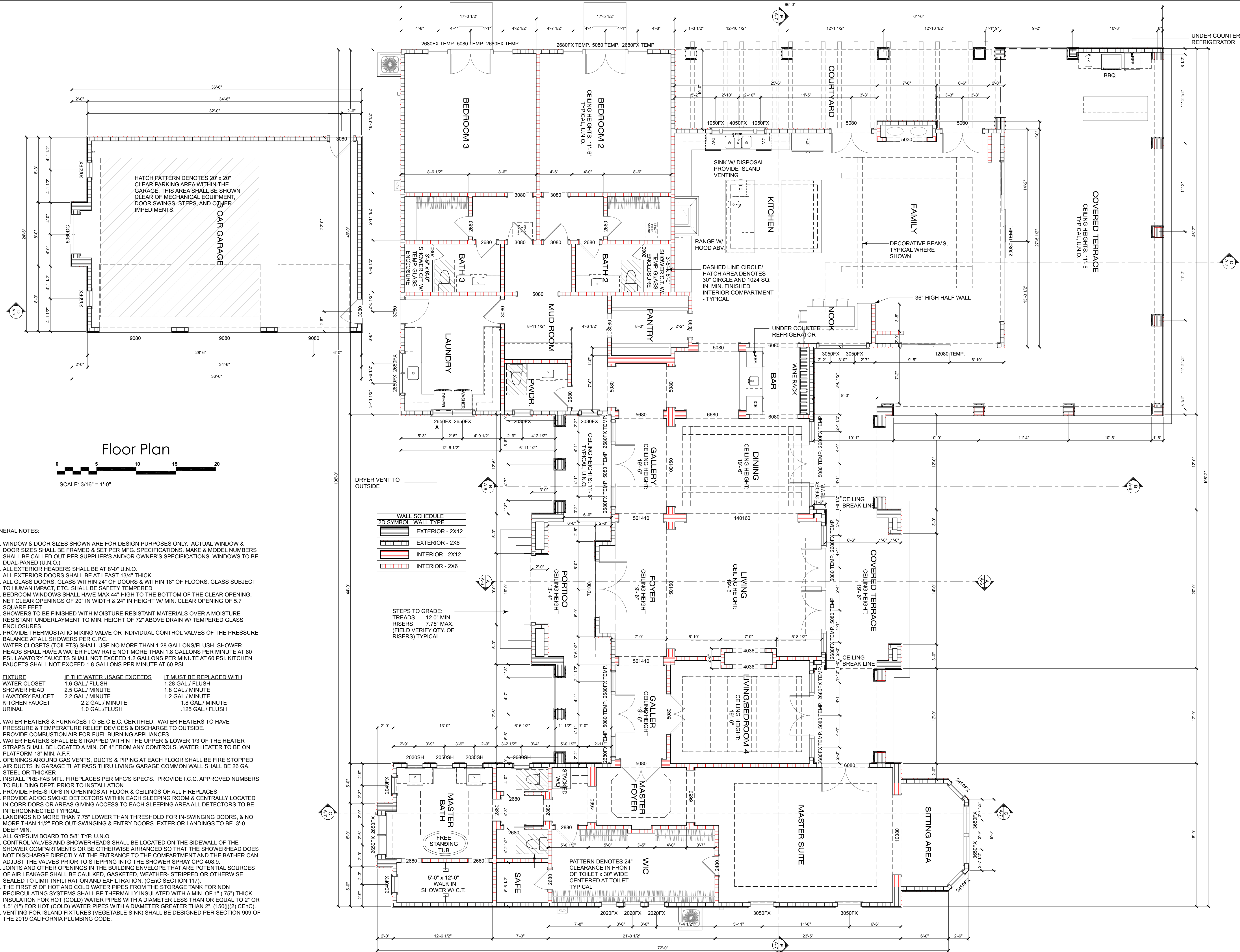
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T-1.1



1. ALL EROSION CONTROL MEASURES SHALL BE ON SITE AND READILY ACCESSIBLE PRIOR TO CONSTRUCTION.
2. SWEEP OR SCRAPE UP SOILS TRACKED ONTO THE ROAD AT THE END OF EACH DAY. DO NOT ALLOW IN STREET, GUTTER, OR STORM DRAIN.
3. REVEGETATE DISTURBED AREAS. EXPOSED BARE DIRT SHALL BE COVERED WITH MULCH, TURF NETTING OR OTHER EROSION CONTROL BLANKET.
4. ALL TEMPORARY STOCKPILES SHALL BE COVERED WITH 6 MIL. PLASTIC SHEETS, SUITABLY ANCHORED.
5. SITE SHALL BE MONITORED BY THE CONTRACTOR / OWNER AFTER RAIN EVENT TO VERIFY EROSION CONTROL MEASURES ARE FUNCTIONING.



- GENERAL NOTES:
- WINDOW & DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIER'S AND/OR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL-PANED (U.N.O.)
 - ALL EXTERIOR HEADERS SHALL BE AT 8'-0" U.N.O.
 - ALL EXTERIOR DOORS SHALL BE AT LEAST 1 3/4" THICK
 - ALL GLASS DOORS, GLASS WITHIN 24" OF DOORS & WITHIN 18" OF FLOORS, GLASS SUBJECT TO HUMAN IMPACT, ETC. SHALL BE SAFETY TEMPERED
 - BEDROOM WINDOWS SHALL HAVE MAX 44" HIGH TO THE BOTTOM OF THE CLEAR OPENING, NET CLEAR OPENINGS OF 20" IN WIDTH & 24" IN HEIGHT W/ MIN. CLEAR OPENING OF 5.7 SQUARE FEET
 - SHOWERS TO BE FINISHED WITH MOISTURE RESISTANT MATERIALS OVER A MOISTURE RESISTANT UNDERLAYMENT TO MIN. HEIGHT OF 72" ABOVE DRAIN W/ TEMPERED GLASS ENCLOSURES
 - PROVIDE THERMOSTATIC MIXING VALVE OR INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE AT ALL SHOWERS PER C.P.C.
 - WATER CLOSETS (TOILETS) SHALL USE NO MORE THAN 1.28 GALLONS/FLUSH. SHOWER HEADS SHALL HAVE A WATER FLOW RATE NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI.
- | FIXTURE | IF THE WATER USAGE EXCEEDS | IT MUST BE REPLACED WITH |
|-----------------|----------------------------|--------------------------|
| WATER CLOSET | 1.6 GAL / FLUSH | 1.28 GAL / FLUSH |
| SHOWER HEAD | 2.5 GAL / MINUTE | 1.8 GAL / MINUTE |
| LAVATORY FAUCET | 2.2 GAL / MINUTE | 1.2 GAL / MINUTE |
| KITCHEN FAUCET | 2.2 GAL / MINUTE | 1.8 GAL / MINUTE |
| URINAL | 1.0 GAL / FLUSH | .125 GAL / FLUSH |
- WATER HEATERS & FURNACES TO BE C.E.C. CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE.
 - PROVIDE COMBUSTION AIR FOR FUEL BURNING APPLIANCES
 - WATER HEATERS SHALL BE STRAPPED WITHIN THE UPPER & LOWER 1/3 OF THE HEATER STRAPS SHALL BE LOCATED A MIN. OF 4" FROM ANY CONTROLS. WATER HEATER TO BE ON PLATFORM 18" MIN. A.F.F.
 - OPENINGS AROUND GAS VENTS, DUCTS & PIPING AT EACH FLOOR SHALL BE FIRE STOPPED
 - AIR DUCTS IN GARAGE THAT PASS THRU LIVING/ GARAGE COMMON WALL SHALL BE 26 GA. STEEL OR THICKER
 - INSTALL PRE-FAB MTL. FIREPLACES PER MFG'S SPEC'S. PROVIDE I.C.C. APPROVED NUMBERS TO BUILDING DEPT. PRIOR TO INSTALLATION
 - PROVIDE FIRE-STOPS IN OPENINGS AT FLOOR & CEILINGS OF ALL FIREPLACES
 - PROVIDE AC/DC SMOKE DETECTORS WITHIN EACH SLEEPING ROOM & CENTRALLY LOCATED IN CORRIDORS OR AREAS GIVING ACCESS TO EACH SLEEPING AREA ALL DETECTORS TO BE INTERCONNECTED TYPICAL
 - LANDINGS NO MORE THAN 7.75' LOWER THAN THRESHOLD FOR IN-SWINGING DOORS, & NO MORE THAN 11/2" FOR OUT-SWINGING & ENTRY DOORS. EXTERIOR LANDINGS TO BE 3'-0" DEEP MIN.
 - ALL GYPSUM BOARD TO 5/8" TYP. U.N.O
 - CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF THE SHOWER COMPARTMENTS OR BE OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY CPC 408.9.
 - JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. (CEN-C SECTION 117).
 - THE FIRST 5' OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK FOR NON RECIRCULATING SYSTEMS SHALL BE THERMALLY INSULATED WITH A MIN. OF 1" (.75") THICK INSULATION FOR HOT (COLD) WATER PIPES WITH A DIAMETER LESS THAN OR EQUAL TO 2" OR 1.5" (1") FOR HOT (COLD) WATER PIPES WITH A DIAMETER GREATER THAN 2". (150)(2) (CEN-C).
 - VENTING FOR ISLAND FIXTURES (VEGETABLE SINK) SHALL BE DESIGNED PER SECTION 909 OF THE 2019 CALIFORNIA PLUMBING CODE.

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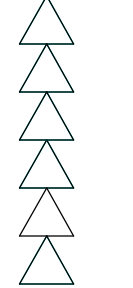
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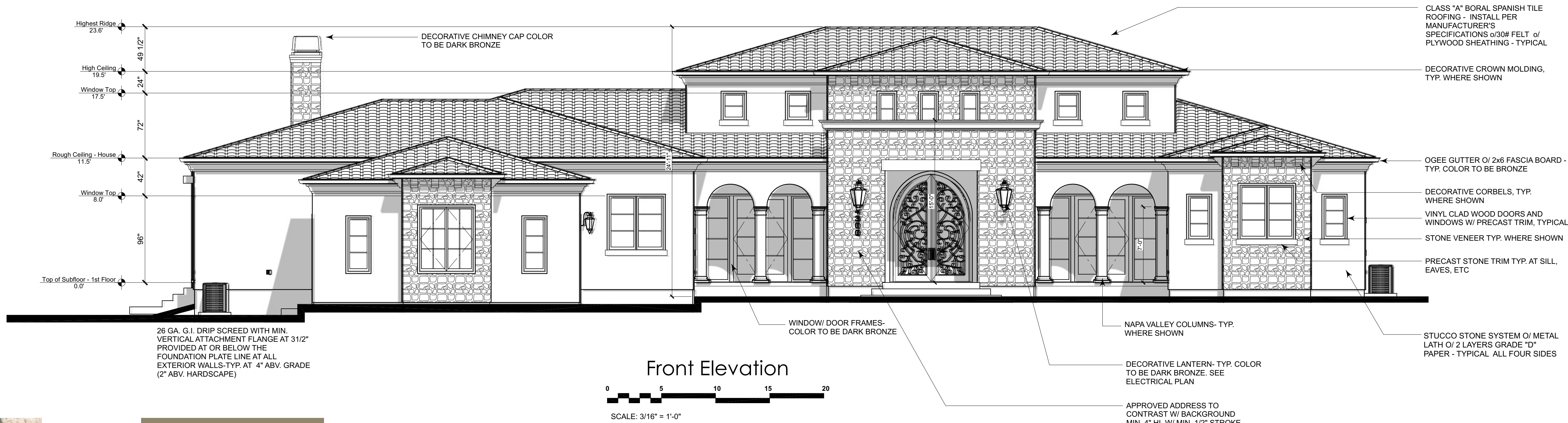


FLOOR PLAN

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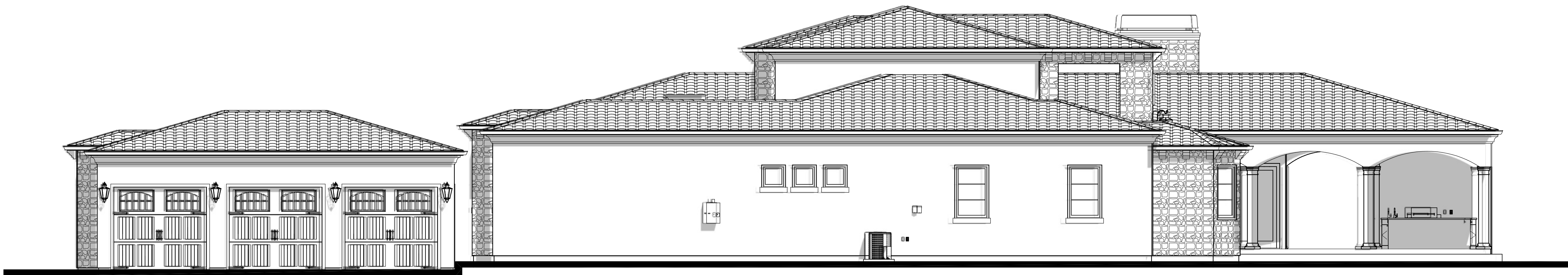
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CREEK BED : LRV 22 (10%)
SMOKY DAY : LRV 26 (60%)
KNITTING BASKET : LRV 48 (30%)
AVERAGE LRV : 27



MAJESTIC SAGE : LRV 26



Right Elevation

ALL EXTERIOR FLASHING AND INSTALLATION OF APPROVED CORROSION RESISTANT FLASHING ALLIED SHINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER INTO THE BUILDING STRUCTURAL FRAMING COMPONENTS AT THE FOLLOWING LOCATIONS, BUT NOT LIMITED TO:

- EXTERIOR WINDOWS AND DOORS.
- AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTION LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
- UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
- CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
- WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD-FRAME CONSTRUCTION AT WALL AND ROOF INTERSECTIONS.
- AT BUILT-IN GUTTERS.

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NEW RESIDENCE
14300 ARNERICH ROAD
LOS GATOS CALIFORNIA

Date: 6/1/2017

Drawn By: DCW

Revisions:



EXTERIOR
ELEVATIONS

Project
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Rear Elevation



Left Elevation

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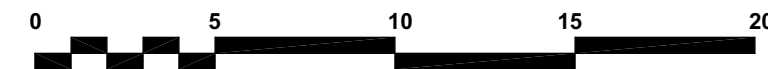
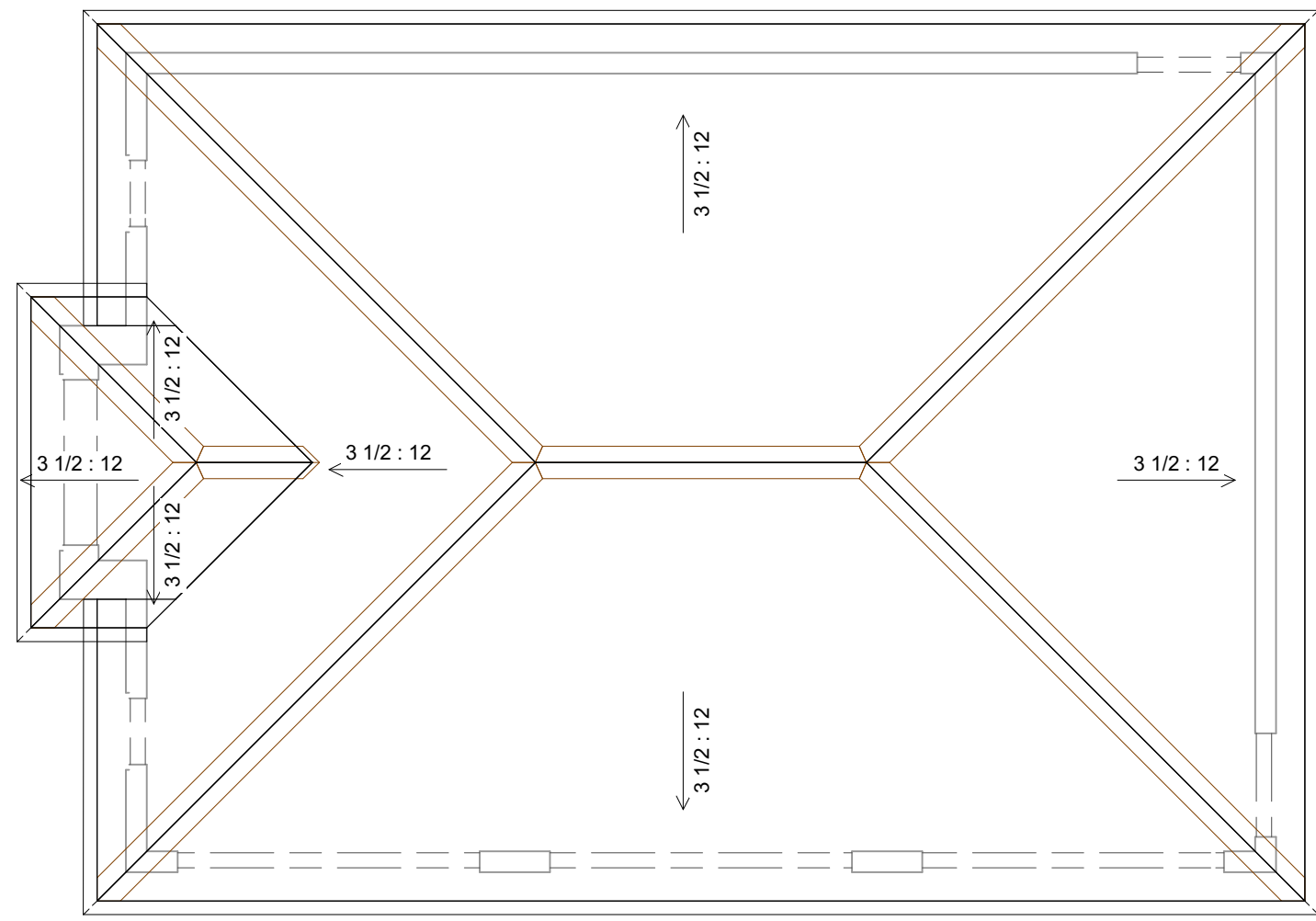
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EXTERIOR
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1. ARROWS INDICATE DIRECTION OF ROOF SLOPE.
2. OVERHANGS ARE TO BE 12" AT EAVES & 12" AT RAKES (U.N.O.)
3. PROVIDE EAVE VENTS FOR ATTIC VENTILATION PER C.R.C. TYPICAL.
4. INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED.
5. INSTALL "OGEE" GUTTER W/ DOWNSPOUTS AS REQUIRED TO MATCH EXISTING.
6. PROVIDE CONCRETE SPLASH BLOCKS AT DOWNSPOUT LOCATIONS FOR DRAINAGE AWAY FROM STRUCTURE - TYPICAL.

3,996 S.F. OF ATTIC SPACE / 300 = 13.3 S.F.
13.3 S.F. x 144 SQ. INCHES = 1,915 SQ. INCHES REQ'D
1,915 SQ. INCHES / 2 = 957.5 SQ. INCHES

1,217.35 S.F. / 1,400 S.F. = 1 - ROOF ATTIC VENTILATOR . MAKE, MODEL: BROAN, 355BK (1,400 S.F. MAX, 1,200 CFM)

PROVIDE (3) 2" DIA. HOLES AT FREEZE BLK'G (9 SQ. INCHES OF VENTING PER BLOCK)
957.5 SQ. INCHES REQ'D / 9 SQ. INCHES = 65 FREEZE BLOCKS REQUIRED.
PROVIDE VENTING BLK'S SPACED EVENLY AT PERIMETER BUT NOT CLOSER THAN EVERY OTHER BAY.

NOTE:
AT LEAST 40% BUT NOT MORE THAN 50% OF REQUIRED ATTIC VENTILATION SHALL BE PROVIDED BY VENTS
LOCATED NOT MORE THAN 3' BELOW THE RIDGE AND THE REMAINING VENTS LOCATED AT THE EAVE OR CORNICE
PER C.R.C.

FOUNDATION VENTILATION:
8"X16" SIMPSON G.I. FOUNDATION VENTS TO BE EVENLY SPACED AROUND PERIMETER OF FOUNDATION FOR CROSS VENTILATION REQUIREMENTS. WHERE EXISTING VENTS ARE COVERED UP PROVIDE ADDITIONAL VENTS AS NECESSARY. VENTS SHALL NOT BE LOCATED AT SHEARWALLS

$$2,261.26 \text{ S.F.} / 150 \text{ S.F.} = 15.08 \text{ S.F.}$$
$$8" \times 16" = .72 \text{ S.F.}$$
$$15.08 \text{ S.F.} / .72 \text{ S.F.} = 21 \text{ VENTS MIN. REQ'D}$$

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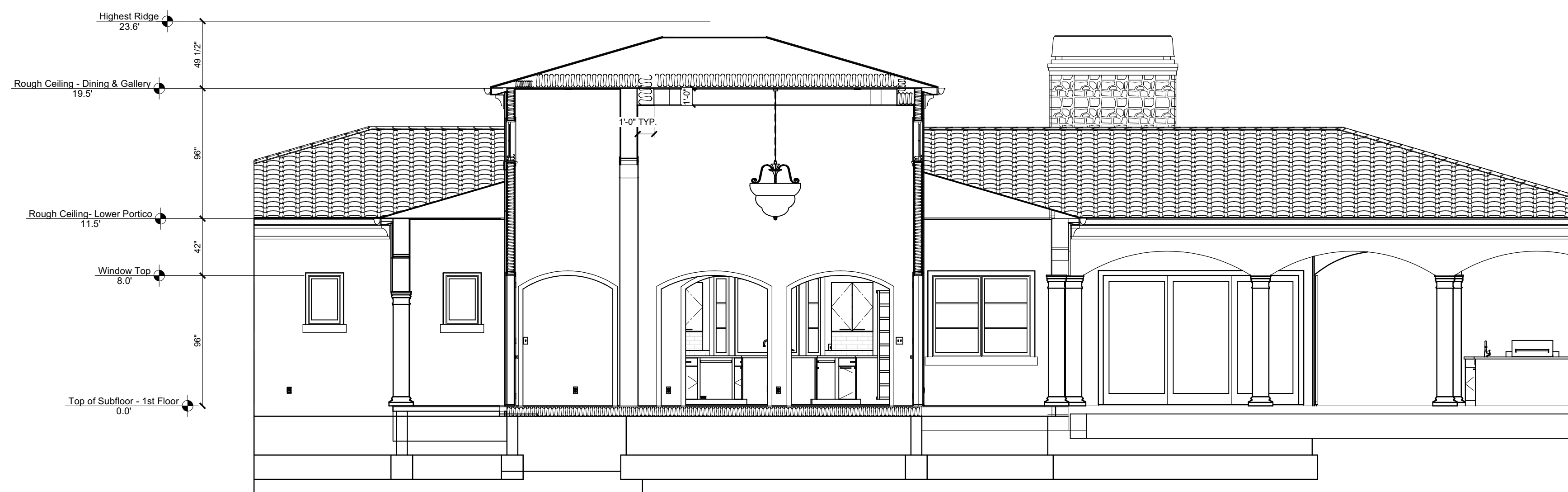
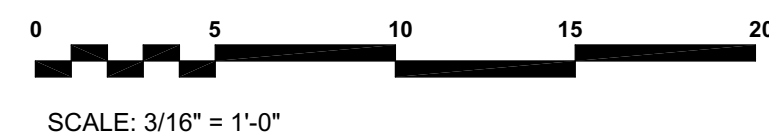
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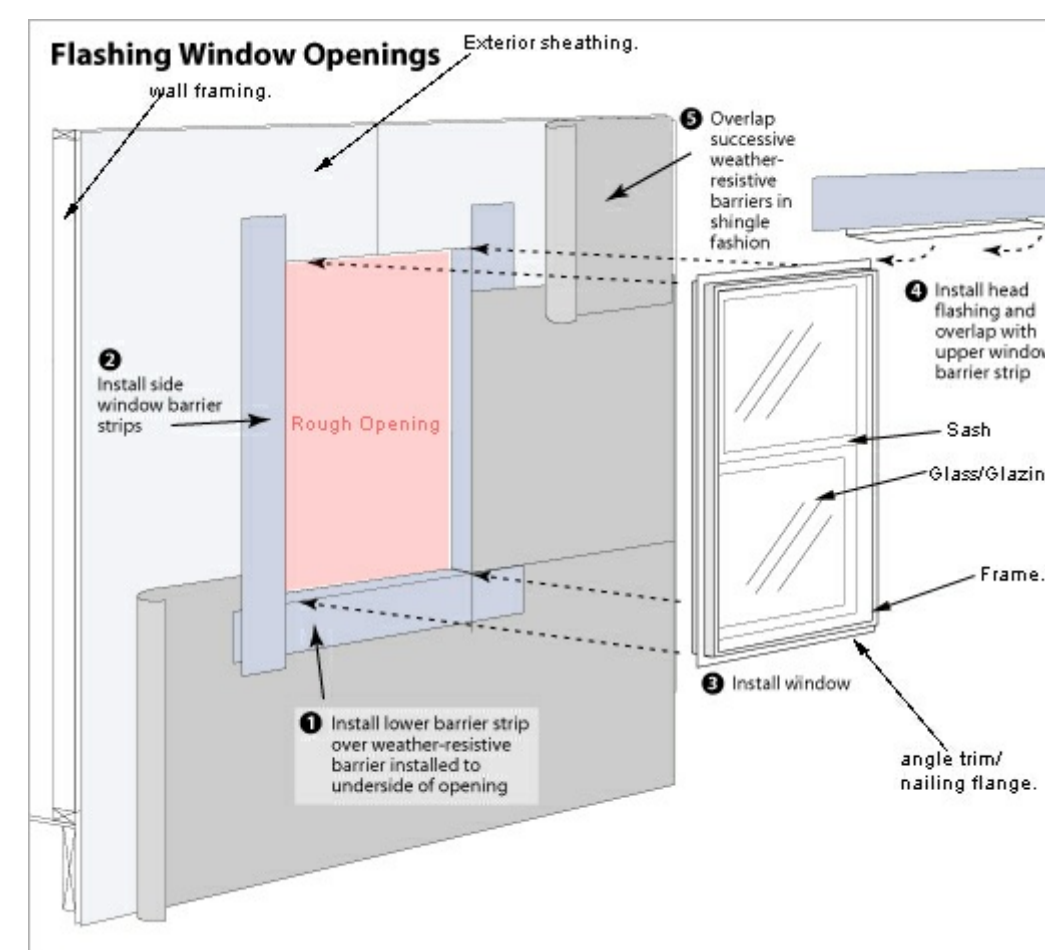
1. ALL SHEARWALLS TO BE FRAMED TO BOTTOM OF ROOF SHEATHING - TYP.
2. ALL STOPS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS PER CBC
- 2.a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT:
 - 1. THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL
 - 2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILING
- 2.c. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
- 2.d. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE PARTS.
- 2.e. AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.

INSULATION REQUIREMENTS:
WALL INSULATION: R-21
FLOOR INSULATION: R-19
ATTIC INSULATION: R-38

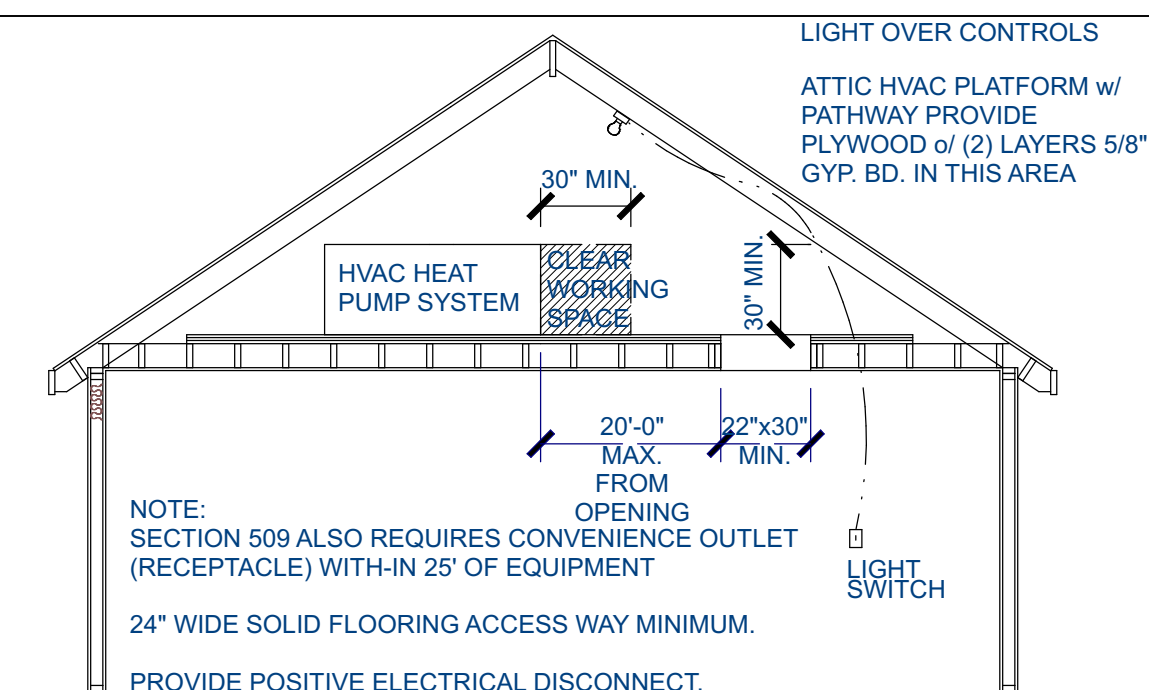
PROVIDE RADIANT BARRIER AT UNDERSIDE OF ROOF
AND GABLE END WALLS PER TITLE-24



Section B-B



8 WINDOW FLASHING SCALE: N.T.S.



RELATED CODE SECTIONS: 509, 708

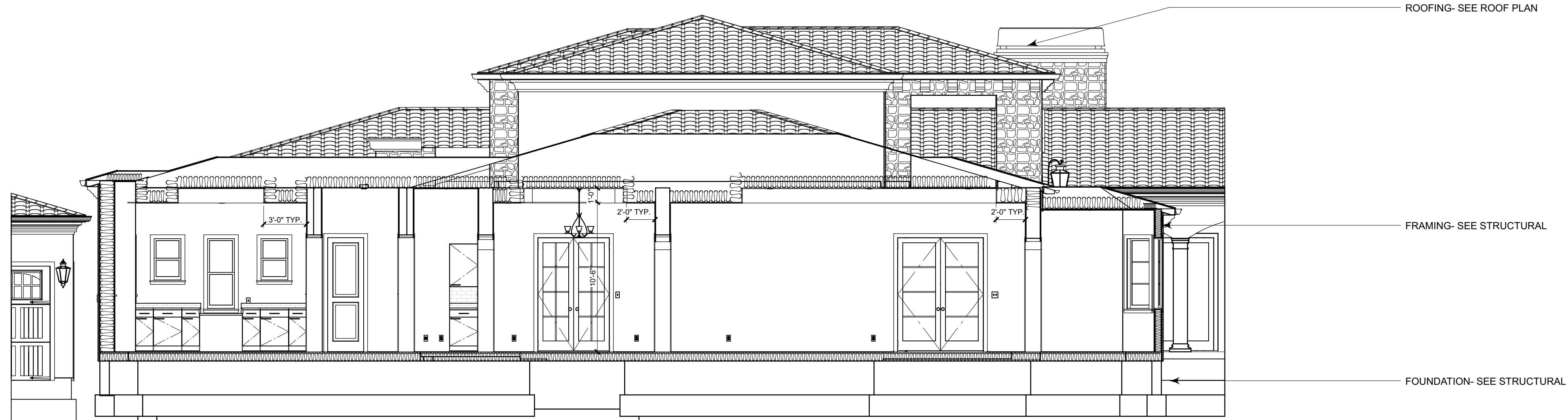
CONTROL WARM-AIR HVAC SYSTEM INSTALLED IN AN ATTIC MUST BE ACCESSIBLE FOR ROUTINE INSPECTION AND MAINTENANCE BY THE OWNER/OCCUPANT AND FOR SERVICES AND REPAIR AS NEEDED. CHECK FOR OIL LEAKS, LUBRICATING MOTOR AND FAN BEARINGS. CHECKING BELT TENSION, AND RELIGHTING THE PILOT FOLLOWING A SERVICE INTERRUPTION ARE NORMAL OWNER FUNCTIONS. ADEQUATE LIGHT, AN ELECTRICAL OUTLET, SAFE ACCESS WAY AND SUFFICIENT WORKING SPACE ON THE CONTROL SIDE ALL ENCOURAGED AND FACILITATE MAINTENANCE AND ALSO ENABLE RAPID EGRESS IN AN EMERGENCY.

4	ATTIC HVAC PLATFORM	SCALE: N.T.S.
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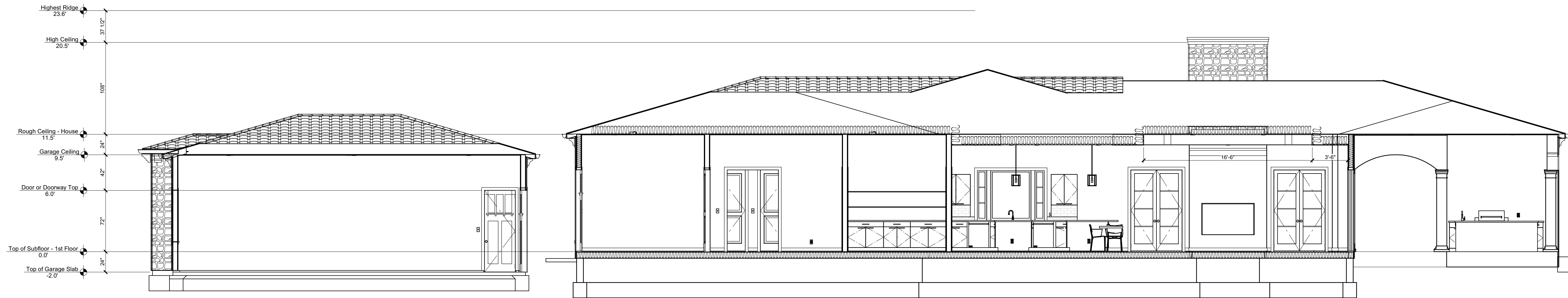
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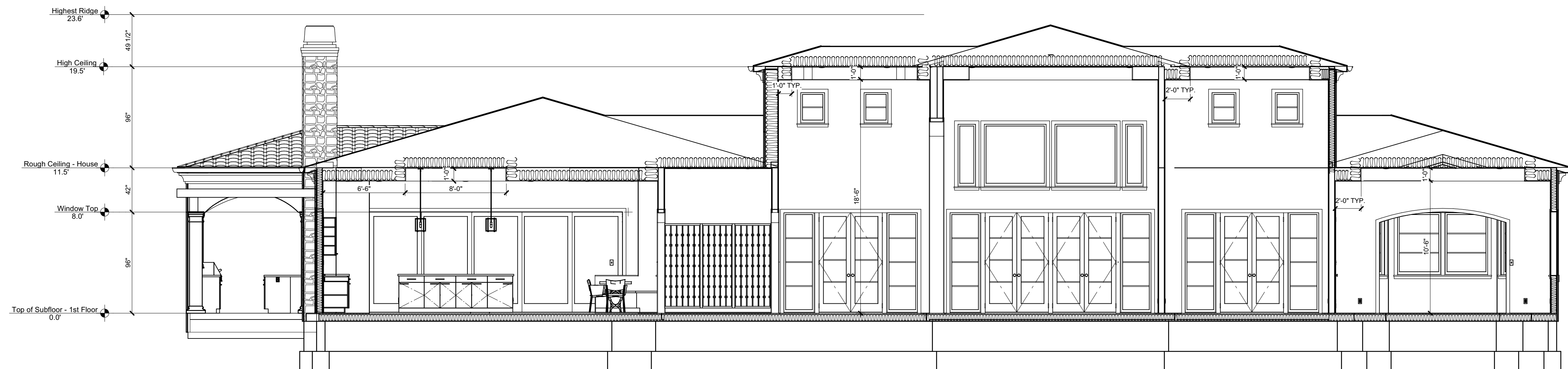
Section C-C

0 5 10 15 20

SCALE: 3/16" = 1'-0"



Section D-D



Section E-E

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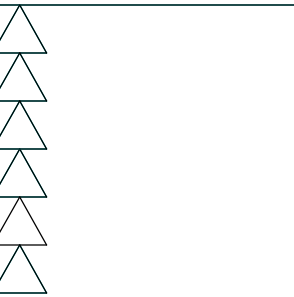
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